



## Committee of Whole

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**Meeting Date:** October 26, 2021  
**Submitted by:** Durk Vanderwerff, Director of Planning  
**SUBJECT:** MIDDLESEX CENTRE OFFICIAL PLAN AMENDMENT NO. 55;  
EVERLEIGH HOMES; FILE NO. 39-MC-OPA55

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### **BACKGROUND:**

Sandra Mayo (agent Everleigh Homes) has applied to amend the Middlesex Centre Official Plan for a property located at the intersection of Carriage Road and Sharron Drive. Amendment No. 55 would re-designate the 40 hectare (100 acre) property from an 'Agricultural' designation to an 'Agricultural Special Policy Area' designation to permit the development an additional dwelling unit within an accessory building.

The property is vacant of buildings and is farmed. The applicant is constructing a single detached dwelling on the lands and an accessory building where the secondary dwelling unit would be located. The property is surrounded by agricultural uses and natural heritage features to the north and west. In addition to Amendment No. 55, locally the proposal has been subject to a zoning by-law amendment.

County Council is the Provincially delegated Approval Authority for locally adopted official plan amendments. This report summarizes the planning policy context and provides a planning recommendation for Council from the perspective of the Approval Authority. More detailed local planning analysis, as provided to Middlesex Centre Council, is provided within the attached local planning report. In addition, a location map and a copy of Amendment No. 55 are appended to this report.

### **ANALYSIS:**

The application was submitted to the Municipality in July 2021 and was subject to a public meeting on September 22, 2021. Amendment No. 55 was adopted by Middlesex Centre Council and submitted to the County as the Approval Authority. The submission was accepted as complete by the County and a further agency / ministry circulation was not undertaken given the location and the limited extent of the change.

The County has not received comment from the public concerning Amendment No. 55. During the local process, comments were received concerning the impact of residential uses on normal farm practices such as the keeping of livestock. The additional residential unit is however proposed to be located within proximity to the principal dwelling and therefore would have minimal additional potential impacts.

The Planning Act, Provincial Policy Statement (PPS) and County Official Plan provide direction on matters of Provincial and County interest and seek to encourage the development of additional residential units including within an ancillary structure where appropriate. The Planning Act directs municipalities to determine where additional residential units are to be permitted.

The PPS provides direction to support healthy and vibrant communities by providing an appropriate range and mix of residential uses, including additional residential units to meet current and long-term needs of residents. The County Official Plan policies encourage a wide variety of housing types and styles to meet projected demographic and market requirements of current and future residents, including the provision of alternative forms of housing. The Middlesex Centre Official Plan provides more specific criteria to be considered when evaluating official plan amendments, and the Municipality is satisfied that those criteria have been met by Amendment No. 55. The attached local municipal planning report addresses the land use policy documents in further detail.

I have reviewed Amendment No. 55 against the PPS, the County Official Plan, and the Middlesex Centre Official Plan. I am satisfied that Amendment No. 55 is consistent with the PPS, conforms to the intent and purpose of the County's Official Plan and the Middlesex Centre Official Plan, and represents sound land use planning. I am therefore recommending approval of Official Plan Amendment No. 55, as adopted.

#### **FINANCIAL IMPLICATIONS:**

The budget expense related to the Provincially delegated Approval Authority responsibility for local official plans is offset, to an extent, through the collection of application fees.

#### **ALIGNMENT WITH STRATEGIC FOCUS:**

This report aligns with the following Strategic Focus, Goals, or Objectives:

<b>Strategic Focus</b>	<b>Goals</b>	<b>Objectives</b>
Strengthening Our Economy	Encourage a diverse and robust economic base throughout the county	<ul style="list-style-type: none"> <li>• Support opportunities to create a stronger and sustainable agricultural sector</li> </ul>

### **RECOMMENDATION:**

That Amendment No. 55 to the Middlesex Centre Official Plan be approved and that staff be directed to circulate a Notice of Decision as required by the Planning Act, and that the Notice of Decision indicate that no written submissions were received concerning this application.

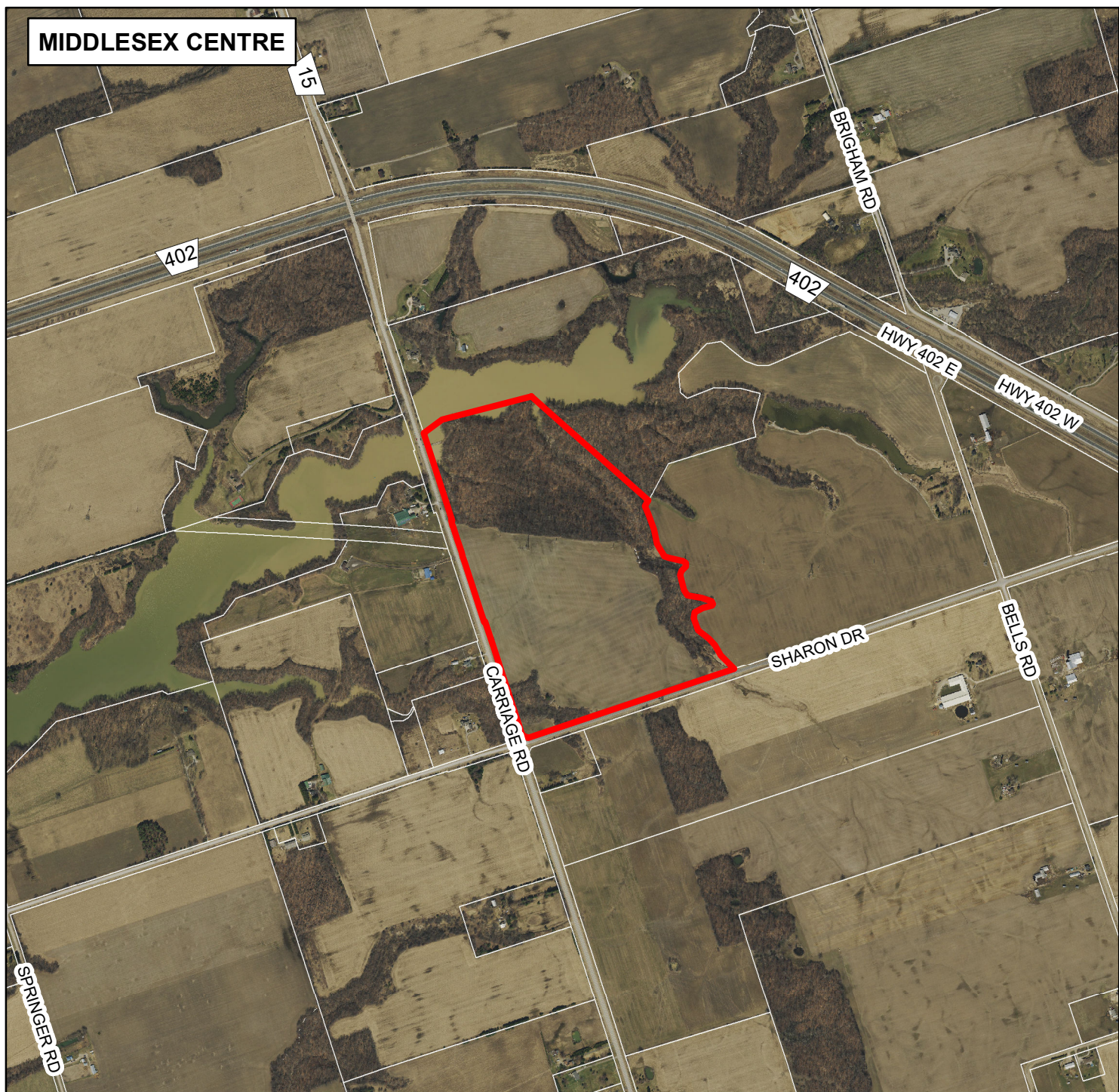
### **Attachments**

Attachment 1 – Location Map

Attachment 2 – Certified OPA

Attachment 3 – Planners Report





## LOCATION MAP

Description:  
OFFICIAL PLAN AMENDMENT NO. 55  
MUNICIPALITY OF MIDDLESEX CENTRE

File Number:  
39-MC-OPA55

Prepared by: Planning Department  
The County of Middlesex, October 06, 2021.



## LEGEND

 SUBJECT LANDS



1:15,000

0 375 750

Meters

**AMENDMENT NO. 55 TO**

**THE OFFICIAL PLAN OF**

**THE**

**Municipality of Middlesex Centre**

**Location:** The subject property is a vacant parcel located on the east side of Carriage Road and on the north side of Sharon Drive. The subject property is legally described as Part of Lots 9 & 10, Concession 2 (geographic Township of Delaware), Municipality of Middlesex Centre.

**Date:** September 22, 2021

**Approval Authority:** County of Middlesex




AMENDMENT NO. 55

To the Official Plan of the Municipality of Middlesex Centre

The attached, constituting Amendment No. 55 to the Official Plan of the Municipality of Middlesex Centre, as authorized by the provisions of Section 22 of the Planning Act, R.S.O. 1990, c.P.13, was adopted by Council of the Municipality of Middlesex Centre by By-law 2021-090 on the 22 day of September, 2021, in accordance with the Planning Act, R.S.O. 1990, c.P.13.

I, Clerk of the Municipality of Middlesex Centre  
Hereby Certify that this is a true and exact  
copy of the original document

This 27<sup>th</sup> day, of SEPT, 2021

  
CLERK



Aina DeViet  
Mayor

  
James Hutson  
Clerk

AMENDMENT NO. 55

To the Official Plan of the Municipality of Middlesex Centre

PART A - THE PREAMBLE - does not constitute part of this Amendment.

PART B - THE AMENDMENT - consisting of the text which constitutes Amendment No. 55

PART C - THE APPENDICES - do not constitute part of this Amendment.

## AMENDMENT NO. 55

### To the Official Plan of the Municipality of Middlesex Centre

#### PART A - THE PREAMBLE

##### 1.0 PURPOSE AND EFFECT

The purpose and effect of the Official Plan Amendment application is to re-designate the subject property from the Agricultural designation to an Agricultural Special Policy Area designation to allow a second dwelling unit in an ancillary building (garage).

##### 2.0 LOCATION

The subject property is a vacant parcel located on the east side of Carriage Road and on the north side of Sharon Drive. The subject property is legally described as Part of Lots 9 & 10, Concession 2 and Parts 1 to 9 on Reference Plan 33R17757 (geographic Township of Delaware), Municipality of Middlesex Centre.

##### 3.0 BASIS OF THE AMENDMENT

Section 16(3) of the Planning Act authorizes Official Plans to contain policies that permit additional residential units and provides the following:

“An official plan shall contain policies that authorize the use of additional residential units by authorizing,

- a) the use of two residential units in a detached house, semi-detached house, or rowhouse; and
- b) the use of a residential unit in a building or structure ancillary to a detached house, semi-detached house or rowhouse.”

Additionally, Section 35.1 requires that council of each local municipality to pass by-laws under section 34 (Zoning by-laws) to give effect to the policies described in subsection 16(3).

The Provincial Policy Statement, 2020 and the County Official Plan require that prime agricultural land are to be preserved for agricultural and agricultural-related uses including a farm residence. The proposal is in keeping with the provincial and regional policy framework for development outside of settlement areas. The proposal is not expected to have any adverse impacts on agricultural activities in the area while allowing for a second unit in an accessory building in addition to the prime residential use on the property.

The Provincial Policy Statement, 2020 also includes policy regarding ‘Housing’ and the requirement ‘to provide for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area’. Furthermore, Section 1.1.1 of the Provincial Policy Statement speaks to ‘Healthy, liveable and safe communities’ and how they can be sustained. Section 1.1.1b) states that ‘accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs’.

#### PART B - THE AMENDMENT

##### 4.0 DETAILS OF THE AMENDMENT

The document known as the Official Plan of the Municipality of Middlesex Centre is hereby amended:

- i. By amending Section 11.0 of the Official Plan by inserting the following new subsection:

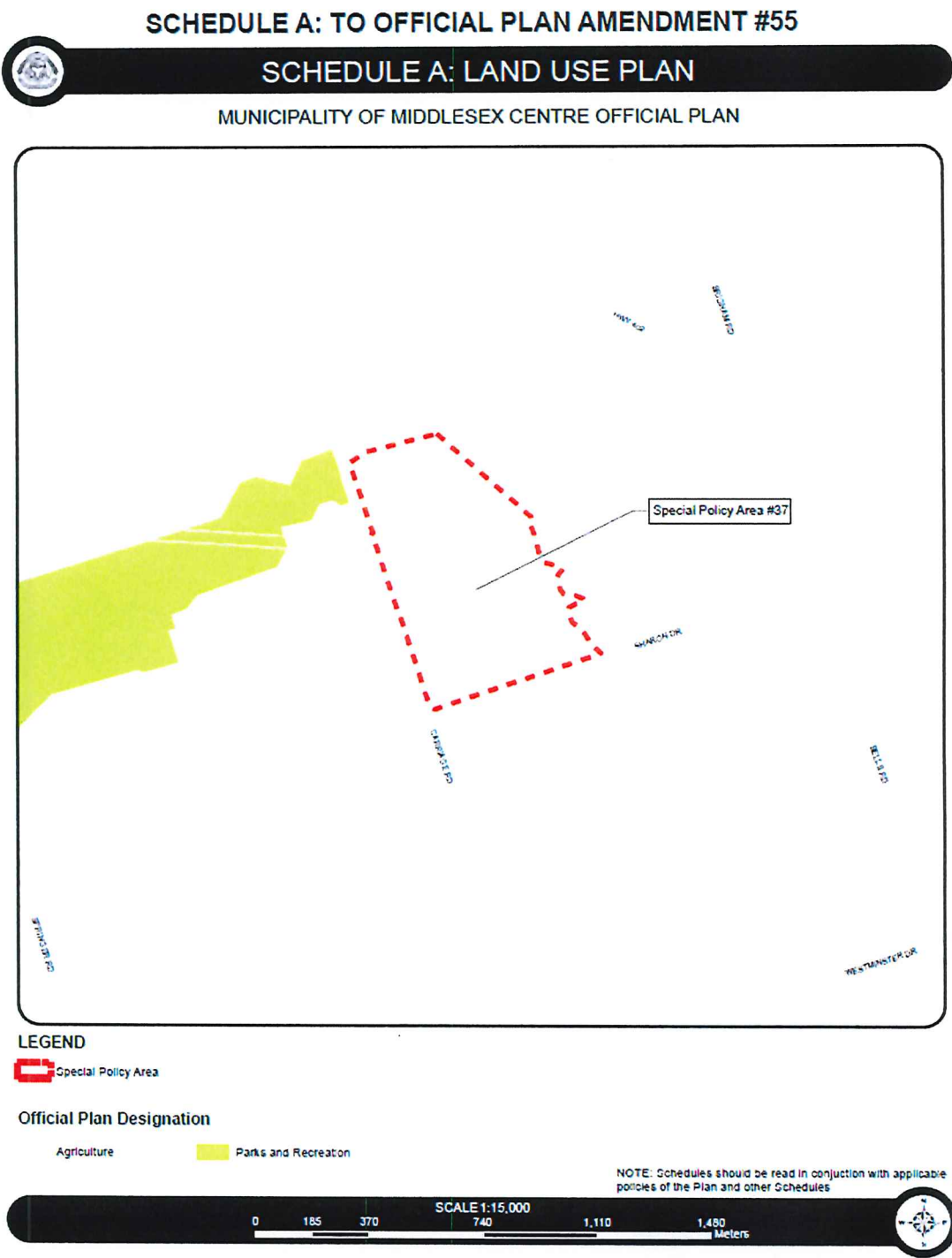


“SPA 37”

The land identified as Special Policy Area #37, as shown on Schedule ‘A’ to this Official Plan, shall be subject to the following policy:

Notwithstanding any other section of the Official Plan, a second unit within an accessory building may be permitted in addition to the main residential dwelling.”

- ii. By amending Schedule ‘A’ of the Official Plan the designation on the land described as Part of Lots 9 & 10, Concession 2 (Geographic Township of Delaware), Municipality of Middlesex Centre as shown and defined on Schedule ‘A’ to this amendment, from Agricultural to Special Policy Area #37.





**Meeting Date:** September 22, 2021

**Submitted by:** Marion-Frances Cabral, Planner

**Report No:** PLA-79-2021

**Subject:** Applications for Official Plan Amendment (OPA 55) and Zoning By-law Amendment (ZBA-13-2021), filed by Everleigh Homes Inc. on behalf of Sandra Mayo

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**Recommendation:**

THAT the Official Plan Amendment No. 55 for the land legally described as Concession 2 Part of Lots 9 and 10 RP 33R17757 Parts 1 to 9 (former Township of Delaware), Municipality of Middlesex Centre, be ADOPTED and forwarded to the County of Middlesex for consideration of approval;

AND THAT the Zoning By-law Amendment application, filed by Everleigh Homes Inc. on behalf of Sandra Mayo, to rezone the subject property from the 'Agricultural (A1)' zone to the site-specific 'Agricultural (A1-36)' zone for the property legally described as Concession 2 Part of Lots 9 and 10 RP 33R17757 Parts 1 to 9 (former Township of Delaware), Municipality of Middlesex Centre, be APPROVED.

**Purpose:**

The purpose of this report is to provide Council with a recommendation regarding an Official Plan Amendment and Zoning By-law Amendment for a property located on the north side of Sharon Drive and on the east side of Carriage Road.

A location map is included as Attachment 1.

**Background:**

The purpose and effect of the Official Plan Amendment application is to re-designate the subject property from the Agricultural designation to an Agricultural Special Policy Area designation to allow a second dwelling unit in an accessory building (garage).

The purpose and effect of the Zoning By-law Amendment application is to rezone the subject property from the Agricultural (A1) zone to a site-specific Agricultural (A1-36) zone to permit a second dwelling unit within an accessory building (garage), and to permit an

accessory building that has a maximum height of 7.0 m (23 ft) and a maximum gross floor area of 192.8 m<sup>2</sup> (2, 075 ft<sup>2</sup>).

The Zoning By-law currently permits accessory buildings with a maximum height of 6.5 m (21.3 ft) and maximum gross floor area of the lesser of 3% lot coverage in any Agricultural Zone or 165.0 m<sup>2</sup> (1, 776 ft<sup>2</sup>) of gross floor area for accessory buildings located on a lot with an area greater than 5,000 m<sup>2</sup> (1.25 ac). The Zoning By-law amendment would continue to permit the existing permitted uses listed in Section 5.1.1 of the Zoning By-law.

The subject lands are currently vacant of any buildings or structures and is actively cultivated. The lands also abut Sharon Creek and contains regulated area and Significant Woodland on the northern and eastern portion of the land. The lands are approximately 16.72 ha (41.3 ac) in area and is located on the north side of Sharon Drive and on the east side of Carriage Road. The property is legally described as Concession 2 Part of Lots 9 and 10 RP 33R17757 Parts 1 to 9 (former Township of Delaware).

The applicant is proposing to construct a new single storey, accessory building approximately 15 m (49 ft) from the main dwelling. The accessory building contains a three-car garage oriented to face Sharon Drive. The garage will be approximately 89.3 m<sup>2</sup> (961 ft<sup>2</sup>) in area, and the dwelling unit located to the rear of the garage will be approximately 103.6 m<sup>2</sup> (1,115 ft<sup>2</sup>) in area. The applicant proposes a shared septic tank between the main dwelling and accessory dwelling.

### **Policy Regulation:**

#### **Planning Act**

Section 16(3) of the Planning Act authorizes Official Plans to contain policies that permit additional residential units and provides the following:

“An official plan shall contain policies that authorize the use of additional residential units by authorizing,

- a) the use of two residential units in a detached house, semi-detached house, or rowhouse; and
- b) the use of a residential unit in a building or structure ancillary to a detached house, semi-detached house or rowhouse.”

Additionally, Section 35.1 requires that council of each local municipality to pass by-laws under section 34 (Zoning by-laws) to give effect to the policies described in subsection 16(3).

### **Provincial Policy Statement, 2020:**

Section 3 of the Planning Act requires all decisions made under the Act “to be consistent with” the Provincial Policy Statement, 2020 (PPS). The following PPS policies are relevant to the proposed development and need to be considered when evaluating the subject applications.

Section 1.1.1 of the PPS speaks to ‘Healthy, liveable and safe communities’ and how they can be sustained. Section 1.1.1b) states that ‘accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs’.

Section 1.4 of the PPS speaks to ‘Housing’ and the requirement ‘to provide for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area’.

Section 1.6.6 of the PPS outlines the hierarchy for sewage and water services. Generally, the preferred method of servicing is municipal services, however consideration can be given to private and communal services where appropriate, and where supported by appropriate studies.

Section 2.3 of the PPS speaks to prime agricultural areas and the long-term protection of these areas for agricultural use. Permitted uses within prime agricultural areas include: agricultural uses, agricultural-related uses, and on-farm diversified uses. Policy 2.3.6 of the PPS addresses non-agricultural uses in prime agricultural areas. The PPS directs that limited non-residential uses may be permitted within a prime agricultural area subject to evaluation criteria.

### **Middlesex County’s Official Plan**

The County of Middlesex Official Plan designates the subject property as Agricultural Area. The County Plan recognizes agriculture as the predominant land use and an economic mainstay within the County. The Agricultural policies are intended to protect agricultural lands from the intrusion of land uses that are not compatible with agricultural operations.

Section 4.3 of Middlesex County’s Official Plan speaks to local Official Plans and indicates that the County Official Plan is not intended to prevent the development of areas designated for non-agricultural development in local Official Plans. The County Plan does not specifically address a proposal such as this. Instead, the County Plan leaves atypical proposals to be addressed within local Plans and through the local Official Plan Amendment process.

Section 2.3.7 of the County of Middlesex Official Plan speaks to housing policies and states that, it is the policy of the County to encourage a wide variety of housing by type,



size and tenure to meet projected demographic and market requirements of current and future residents of the County.

The County of Middlesex's Official Plan in section 2.4.5 discusses the servicing hierarchy similar to those discussed in the PPS.

### **Middlesex Centre's Official Plan**

As mentioned the subject property is designated 'Agricultural' by Middlesex Centre's Official Plan. The designation of the subject lands permits primarily agricultural uses and residences surplus to a farming operation.

Section 5.2.1 of Middlesex Centre's Official Plan speaks to General Residential Policies, section 5.2.1 a) states, 'The Municipality will provide and encourage a wide variety of housing types, sizes and tenures to meet demographic and market requirements for the Municipality's current and future residents'.

Section 9.3 of the Local Official Plan speaks to municipal infrastructure and servicing policies. These policies have a similar hierarchy as the PPS and the County Official Plan. As it relates to this proposal section 9.3.2 a) states, 'the principle means of sewage disposal in agricultural areas of the Municipality is the septic tank and weeping tile system. It is anticipated that such systems will continue to be the principal means of sewage disposal outside of settlements in the foreseeable future, however the consideration of alternative and improved technologies is encouraged.

Section 9.6.1 of Middlesex Centre's Official Plan states it is policy of this Plan that the conversion of an existing principal farm dwelling to add a second unit may be permitted, subject to the requirements within the existing building, and will not require an addition to facilitate the conversion.

Section 9.7 of the Municipality's Official Plan states that 'new garden suites will not be permitted within the Municipality. Garden Suites are temporary housing on a property and above the primary residence.

In Section 10.1 of the Official Plan it is noted that the Plan may be amended upon consideration of all relevant issues relating to the public interest. It is further noted that the Municipality shall give consideration to the following criteria:

- a) Does the proposed amendment relate and conform to the vision for the Municipality of Middlesex Centre?
- b) Is there a demonstrated need or justification for the proposed change?
- c) Is the amendment in keeping with the Provincial and County policy?
- d) What are the effects of the proposed change on the demand for Municipal services, infrastructure, and facilities?

- e) Can the land affected by the application be adequately serviced to accommodate the proposed development? Are improvements necessary to adequately service the lands in question?
- f) What impacts will the proposed development have on surrounding land uses, traffic systems, infrastructure and servicing, settlement or Municipal character, features or structures of cultural heritage importance, and natural environment features? Can negative impacts be mitigated or eliminated?

### **Middlesex Centre's Zoning By-law**

The subject property is zoned 'Agricultural (A1)' in Middlesex Centre's Zoning By-law. The current zoning permits a converted dwelling for a maximum of 2 units, although it does not permit an additional residential unit in an accessory building.

Section 4.1 of the Zoning By-law outlines standards for buildings or structures accessory to a dwelling in an Agricultural zone. The maximum height of a building accessory to a dwelling shall not exceed 6.5 m (21.3 ft) and the lot coverage and gross floor area shall not exceed the lesser of 3% of the lot coverage of 165 m<sup>2</sup> (1,776.05 ft<sup>2</sup>) of gross floor area for accessory buildings located on a lot with an area greater than 5,000 m<sup>2</sup> (1.25 ac). For the subject property the less is 165 m<sup>2</sup> (1,776.05 ft<sup>2</sup>).

### **Consultation:**

Notice of Complete Application and Public Meeting were circulated to agencies, as well as property owners in accordance with the *Planning Act* and Ontario Regulation 545/06 and 543/06.

### **Agency Comments:**

At the time of writing the subject report the following comments had been received:

The Municipality's Chief Building Official reviewed the applications and has concerns with the proposed amendments.

The Public Works and Engineering Department reviewed the applications and has no concerns with the proposal amendments.

Lower Thames Valley Conservation Authority did not provide comments at the time of writing this report.

### **Analysis:**

The current Middlesex Centre Official Plan does not contain policies that permit secondary suites or additional residential units in primary or accessory buildings. However, the Planning Act and PPS authorizes municipalities to establish policies that permit additional residential units where appropriate to meet the housing needs of the community.

As mentioned above the Middlesex Centre Official Plan does not permit secondary or additional residential units within the Municipality, and only permits converted dwelling units in Agricultural Areas. An amendment to the Official Plan requires the following criteria to be examined:

**a) Does the proposed amendment relate, and conform to the vision for the Municipality of Middlesex Centre?**

The proposed amendment supports the Municipality's vision of providing a variety of housing types for current and future residents, as well as using resources wisely in terms of utilizing private services. Furthermore, Additional Residential Units will be part of the Municipality's Official Plan Review as they are permitted by the Planning Act and the Provincial Policy Statement.

**b) Is there a demonstrated need or justification for the proposed change?**

The subject lands are currently vacant and the applicant is proposing to construct a single detached dwelling and accessory building (detached garage). Given the zoning of the property, a single detached dwelling is permitted, however, an additional residential unit in an accessory building is not permitted by either the Official Plan or Zoning By-law. The proposal is justified by providing another form of housing to the applicants. The intent of additional residential units is to provide supplementary income to the homeowner, provide other forms of housing, as well as assisting family members when it comes to housing requirements for aging relatives.

**c) Is the amendment in keeping with the Provincial and County policy?**

The proposal conforms to the PPS and both the County and Local Official Plans as the proposal is contributing to a variety of housing types, accommodated by private services, which is a supported form of servicing under the PPS when full municipal services are not available. Furthermore, additional residential units are supported by the Planning Act and the Provincial Policy Statement where additional residential units are permitted by municipalities across Ontario.

Further, the proposed septic system will be shared between the main and the additional dwelling unit which will preclude the severance of a residential lot within an agricultural area.

**d) What are the effects of the proposed change on the demand for Municipal services, infrastructure, and facilities?**

The subject property is proposed to be serviced by private services and there is no intended increase on the demand of Municipal services.

**e) Can the land affected by the application be adequately serviced to accommodate the proposed development? Are improvements necessary to adequately service the lands in question?**

There are no improvements necessary to adequately service the subject property. The applicant will be required to service the proposed dwelling and accessory building with private services, which will be discussed during the building permit stage. Private sewage disposal systems of this nature are governed by the Ontario Building Code.

**f) What impacts will the proposed development have on surrounding land uses, traffic systems, infrastructure and servicing, settlement or Municipal character, features or structures of cultural heritage importance, and natural environment features? Can negative impacts be mitigated or eliminated?**

The proposed additional residential unit will have minimal impact to the surrounding agricultural operations and lands, and traffic system. The accessory building is proposed to have the garage oriented towards the road to minimize the appearance of the additional residential unit and is located within proximity to the main dwelling.

During preconsultation staff noted that there is a presence of natural heritage features including a Significant Woodland located on the northern and eastern portion of the property. Additionally, regulated area exists on the northern portion due abutting Sharon Creek and the southwestern portion near the intersection of Carriage Road and Sharon Drive. The proposed single detached dwelling and accessory building, including the septic system, are proposed to be located outside of the regulated areas and natural heritage system to avoid negative impacts.

Upon review of the plans for the accessory building staff noted the proposed does not conform to the zoning by-law. Specifically Section 4.1 that regulates the lot coverage and height for structures accessory to a dwelling in an Agricultural (A1) zone. The proposed accessory building that contains the additional residential unit is design to be approximately 7.0 m (23 ft) in height where 6.5 m (21.3 ft) is permitted and a gross floor area of 192.83 m<sup>2</sup> (2, 075.6 ft<sup>2</sup>) or 0.11% of the lot coverage where 165 m<sup>2</sup> (1,776 ft<sup>2</sup>) is permitted.

The lot coverage for the additional dwelling unit can be considered appropriate as the additional residential unit is also combined with a garage and is not expected to have negative impacts on surrounding lands. If the additional residential unit was not proposed, the accessory structure would have met the standards of the zoning by-law. Similarly, the proposed three garage spaces are to minimize the appearance and impact of the additional residential unit.

The height of the additional dwelling unit is proposed to be 0.5 m (1.64 ft) taller than what is permitted due to the proposed roof line that is consistent with the main dwelling. The requested and is also not anticipated to have negative impacts on the surrounded area and continues to meet the intent of the zoning by-law and official plan. Further, the applications seek to utilize the property for residential purposes, therefore, there are no anticipated impacts on surrounding land uses, infrastructure, traffic, municipal character and/or natural features.

Given the above, planning staff determined that the requested zoning by-law amendment and official plan amendment are consistent with the Provincial Policy Statement, 2020, the County of Middlesex Official Plan, Middlesex Centre's Official Plan, and Middlesex Centre's Zoning By-law.

Staff recommend that the Official Plan Amendment be adopted as proposed and be forwarded to the County of Middlesex for consideration. Additionally, staff recommend that the zoning by-law amendment to permit a secondary unit in an accessory building and an accessory building with a maximum height of 7.0 m (26 ft) and a maximum lot coverage of 193 m<sup>2</sup> (2, 077.4 ft<sup>2</sup>) be approved.

This opinion is provided prior to the public meeting and without the benefit of potentially receiving all comments from agencies or members of the public. Should new information arise regarding this proposal prior to or at the public meeting, Council is advised to take such information into account when considering the applications.

**Financial Implications:**

None.

**Strategic Plan:**

This matter aligns with following strategic priorities:

- Balanced Growth

**Attachments:**

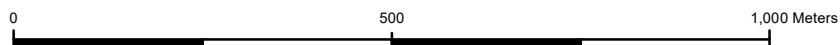
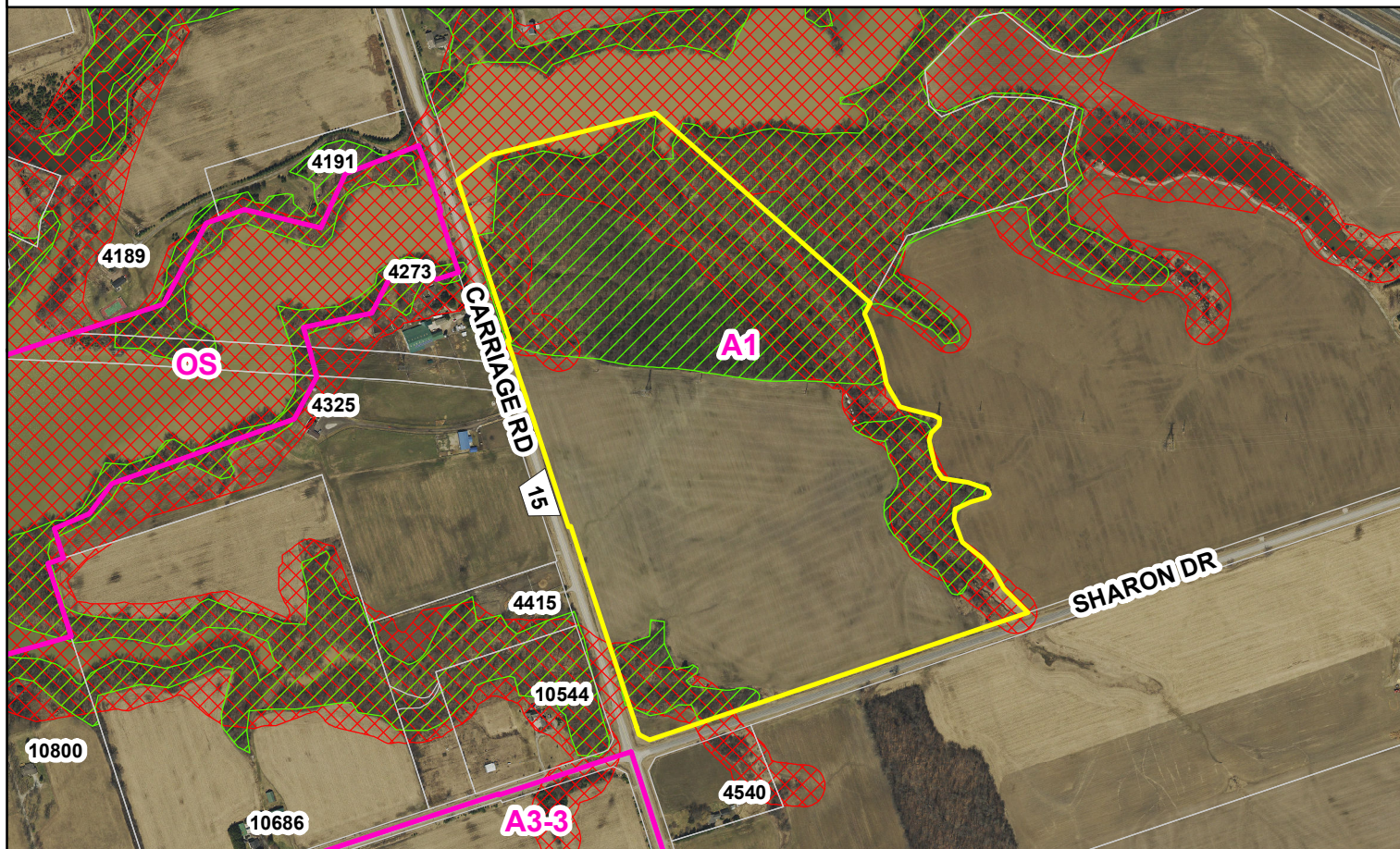
Attachment 1 – Location Map

Attachment 2 – Proposed site plan of home and accessory building







Attachment 3 – Proposed floor plan and elevation of accessory building

Attachment 4 – Draft Official Plan Amendment No. 55

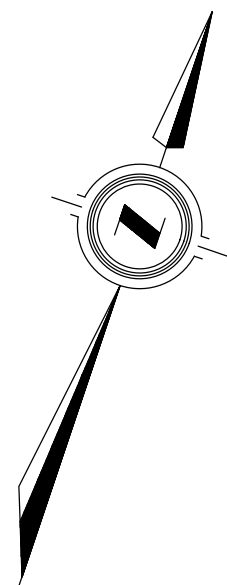




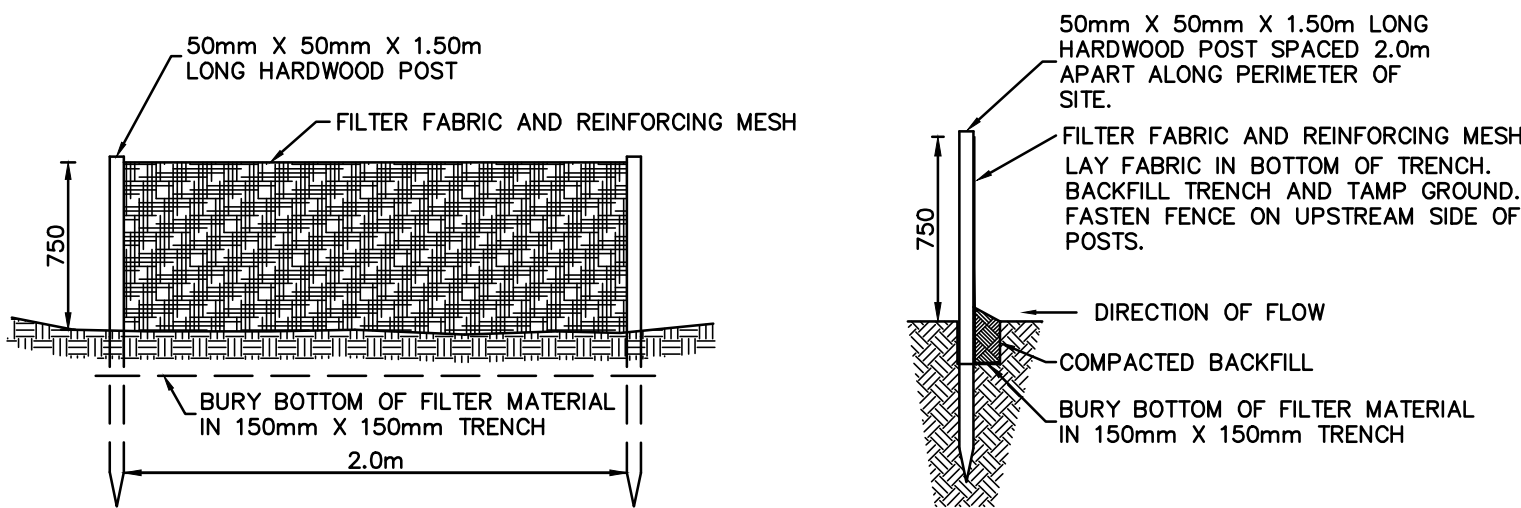
## Legend

-  Lands to be rezoned from 'Agricultural (A1)' to 'Agricultural exception x (A1-x)' and redesignated from 'Agricultural' to 'Agricultural within Special Policy Area #xx' to permit a second dwelling unit in an accessory building
-  Zone Boundary
-  Parcels
-  CA Regulated Area
-  Significant Woodlands (MNHS 2014)
-  Wetlands (MNR 2013)





LOT GRADING PLAN OF  
PART OF  
LOT 10, CONCESSION 2  
(GEOGRAPHIC TOWNSHIP OF DELAWARE)  
NOW THE  
MUNICIPALITY OF  
MIDDLESEX CENTRE  
COUNTY OF MIDDLESEX



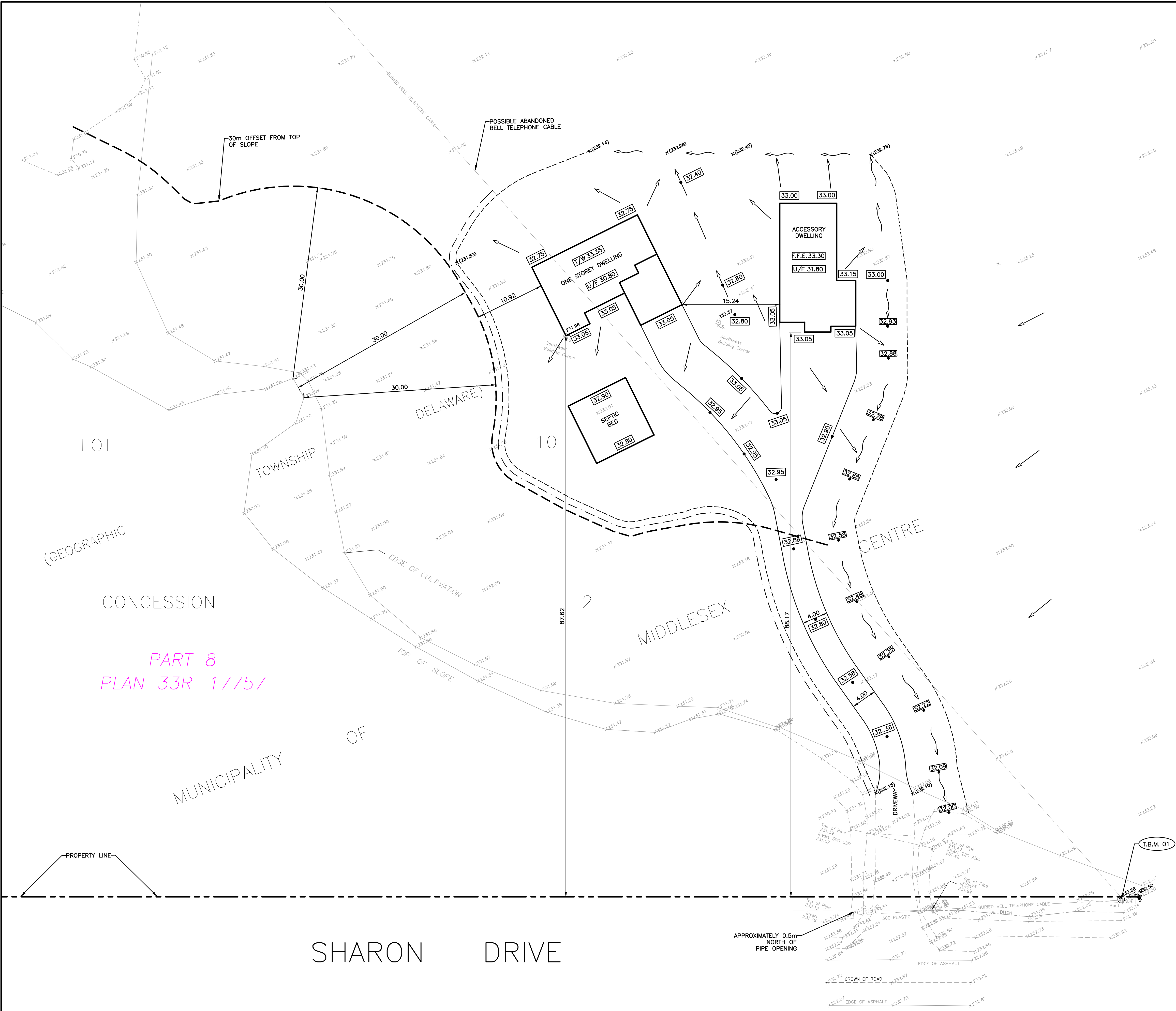
HEAVY DUTY SILT FENCE DETAIL  
NOT TO SCALE

SITE BENCHMARK:

T.B.M. 01 NAIL IN POST  
Elevation=232.900m

LEGEND

- T/W 00.00** PROPOSED TOP OF FOUNDATION WALL ELEVATION
- U/F 00.00** PROPOSED UNDERSIDE OF FOOTING ELEVATION
- 00.00** PROPOSED FINISHED GROUND ELEVATION
- x (00.00)** MATCH EXISTING ELEVATION
- F.F.E. 00.00** PROPOSED FINISHED FLOOR ELEVATION
- 30m OFFSET FROM TOP OF SLOPE
- APPROXIMATE LIMIT OF GRADING
- HEAVY DUTY SILT FENCE



	AS CONSTRUCTED SERVICES	COMPLETION	DESIGN	DTW	No.	REVISIONS	DATE	BY	CONSULTANT OR DIVISION	ENGINEER'S STAMP	EVERLEIGH HOMES	SCALE SCALE - 1 : 300 3 0 6m	TITLE MAYO RESIDENCE LOT GRADING PLAN	PROJECT No. 1465-1 SHEET No. 01 PLAN FILE No.
			DRAWN	KHA, MAMG										
			CHECKED											
			APPROVED											
			DATE	MAY 2021										

**AGM**  
ARCHIBALD, GRAY & McKAY  
ENGINEERING LTD.  
5514 WHITE OAK ROAD, LONDON, ON, N6E 2Z9  
PHONE: 519-685-5300 FAX: 519-685-5303  
EMAIL: info@agm.on.ca WEB: www.agm.on.ca

**TYPICAL INTERIOR  
GARAGE WALL**

- 1/2" GAS PROOF GYP. BOARD
- 7/16" EXTERIOR SHEATHING
- 2"x6" WOOD STUDS AT 16" o/c
- R-22 BATT INSULATION
- 6 MIL POL. Y VAPOR BARRIER
- 1/2" GYPSUM BOARD

**TYPICAL EXTERIOR  
BRICK VENEER WALL**

- BRICK VENEER c/w GAL V. BRICK TIES
- OVERHANG FDN'N (SHOWN DASHED)
- 1" MIN. AIR SPACE
- AIR BARRIER
- 7/16" EXTERIOR SHEATHING
- 2x6 WOOD STUDS AT 16" o/c
- R-22 BATT INSULATION
- 6-MIL. POLY VAPOUR/AR BARRIER
- OVERLAPPED AND SEALED
- 1/2" GYPSUM BOARD

- 2"x4" WOOD STUDS AT 16 O/C
- CHANGE TO 2"x6" WOOD STUDS WHERE DIMENSIONED THUS ON FLOOR PLANS
- PROVIDE WATER RESISTANT CONCRETE BOARD (SEE SPECS) AROUND BATHTUBS

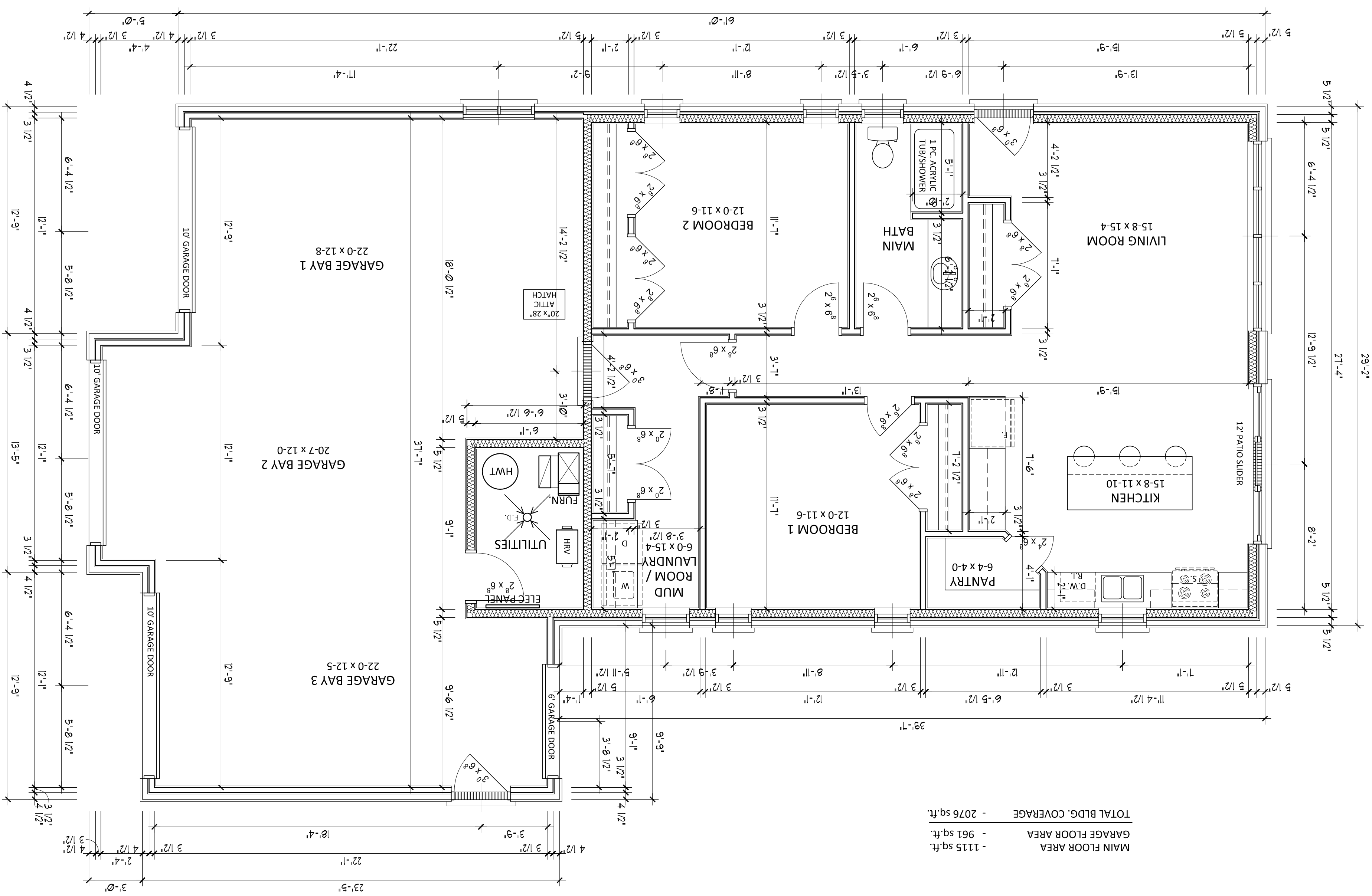
- BRICK VENEER ON GALV. BRICK TIES / OVERHANG FOUNDATION (SHOWN DASHED)
- 1" MIN. AIR SPACE
- 15 lb. BUILDING PAPER
- 1/4" WAFFERBOARD OR O.S.B. SHEATHING
- 2"x4" WOOD STRIPS AT 16"OC

- PROVIDE SAWN CONTROL JOINTS c/w JOINT FILLER

- 2" SPRAY FOAM INSULATION (MIN. R10)
- GRANULAR 'A' BASE (COMPACT IN MIN. 6" THICK LAYERS)
- PROVIDE SAWN CONTROL JOINTS c/w JOINT FILLER

- MIN. 3/16" ASPHALT SHINGLES
- MIN. 3/8" INSIDE EAVE PROTECTION
- TO MIN. 12" INSIDE INNER WALL FLOOR
- ROOF VENTS W/ WALEY FLASHINGS AS REQUIRED
- ROOF VENTS WITH UNOBSTRUCTED AREA OF 1/3000 OF INSUL. CEILING
- 7/16" PLYWOOD, WATERBOARD OR O.S.B. SHEATHING C/W EDGE CLIPS
- PRE-ENG. WOOD TRUSSES AT 2'-0"
- R-60 INSULATION AT TRUSS BOTTOM CHORD
- INSULATION BATTLES & AIR CHAMBER TO INSURE ADEQUATE VENTILATION
- 6-MIL CONT. POLY. VAPOR BARRIER
- 1/2" GYPSUM BOARD CEILING
- PROVIDE 1/2" CEILING BOARD OR 3/8" GYPSUM BOARD FOR CEILING

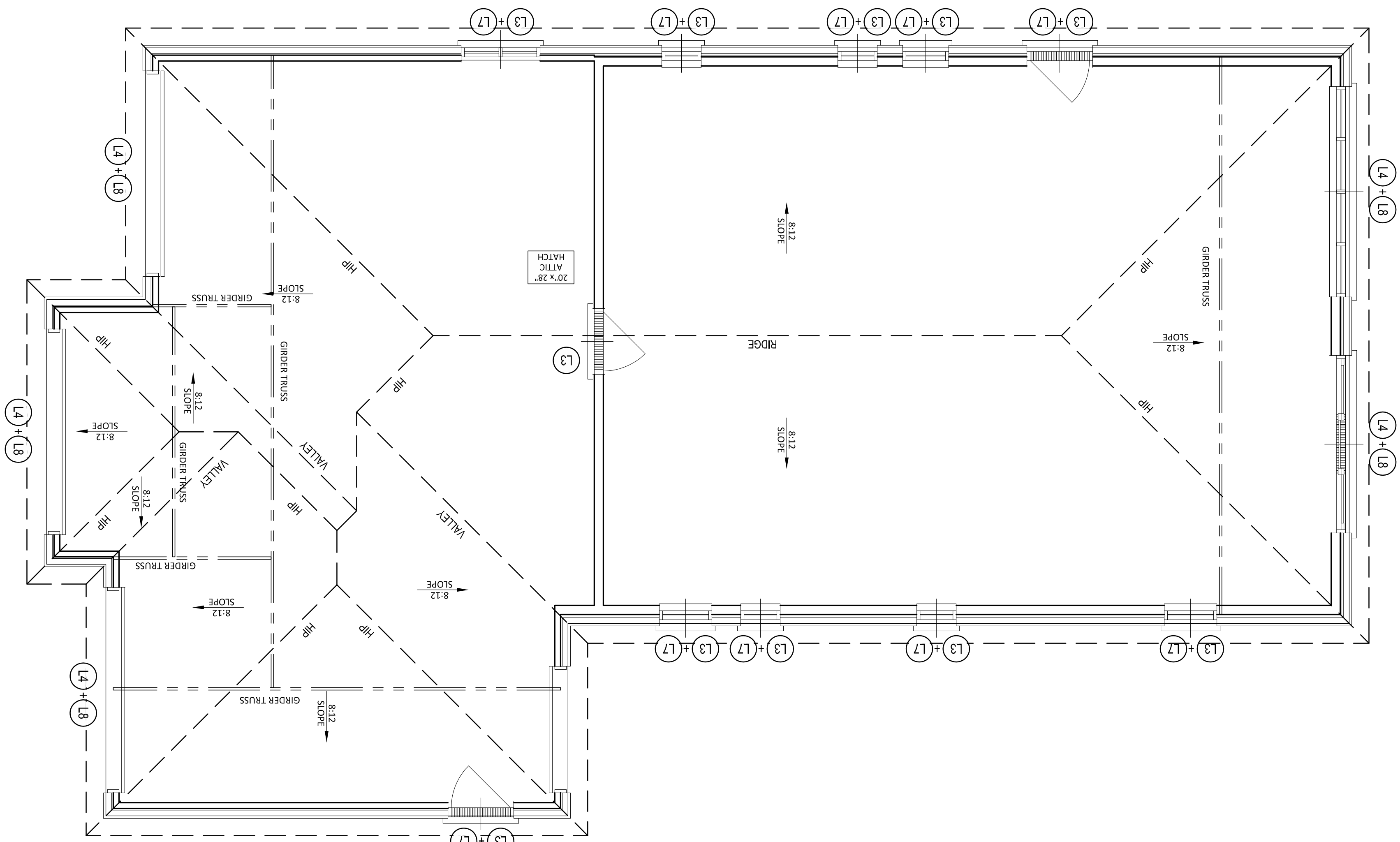
- MIN. 21" ASPHALT SHINGLES
- MIN. 3/8" EXPOSED PROTECTION
- MIN. 1/2" INSIDE INNER WALL FACE
- MIN. 3/8" EXPOSED FLASHINGS AS REQ.
- ROOF VENTS WITH UNRESTRICTED FLOW AREA OF 1/3000 OF INSUL. CEILING AREA
- 7/16" PLYWOOD, WATERBOARD OR O.S.B. SHEATHING w/ EDGE CLIPS ON
- ALTERNATE FINISHING: No. 1.
- 2x6 W/ 16" RFTERS AT 16" OC (UNLESS OTHERWISE NOTED ON FINISHING PLAN c/w COLLAR TIES (WHERE APPLICABLE))
- 2x6 CEILING JOISTS AT 16" OC
- ALTERNATE FINISHING: No. 2.
- PRE-ENG. WOOD TRUSSES AT 2'-0" o/c CATHEDRAL STYLE OR NO ATRIC SPACE
- MIN. R31 INSULATION AT CEILING
- TRUSS BOTTOM CHORD



## 1115 sq.ft.

Scale 1/4"=1'-0"

LINTEL SCHEDULE	
(L1)	2 - 2x6 WOOD LINTEL
(L3)	2 - 2x10 WOOD LINTEL
(L4)	2 - 2x12 WOOD LINTEL
(L5)	3 1/2 x 9 1/4" 20E LVL WOOD LINTEL
(L6)	3 1/2 x 11 7/8" 20E LVL WOOD LINTEL
(L7)	3 1/2 x 13 1/4" 20E LVL STEEL LINTEL
(L9)	7 1/4 x 11 7/8" 20E LVL STEEL LINTEL
(L10)	5 1/2 x 13 1/4" 20E LVL STEEL LINTEL



Scale 1/4"=1'-0"

[illegible]

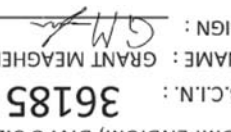
- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING.

NAME: GRANT MEAGHER  
SIGN: 

EVERLEIGH HOMES

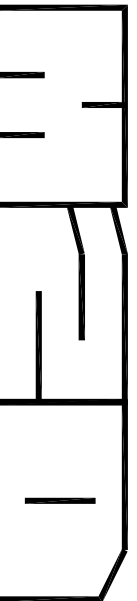
GENERAL NOTES:

- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING.

I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES IN ACCORDANCE WITH THE 2012 BUILDING CODE COMPENDIUM, DIV. C-9.2.5.1  
NAME: GRANT MEGNIER  
B.C.L.N.: 36185  
SIGN: 

EVERLEIGH HOMES

REV.#	DATE	DESCRIPTION
1	05/17/21	CONSTRUCTION PLANS

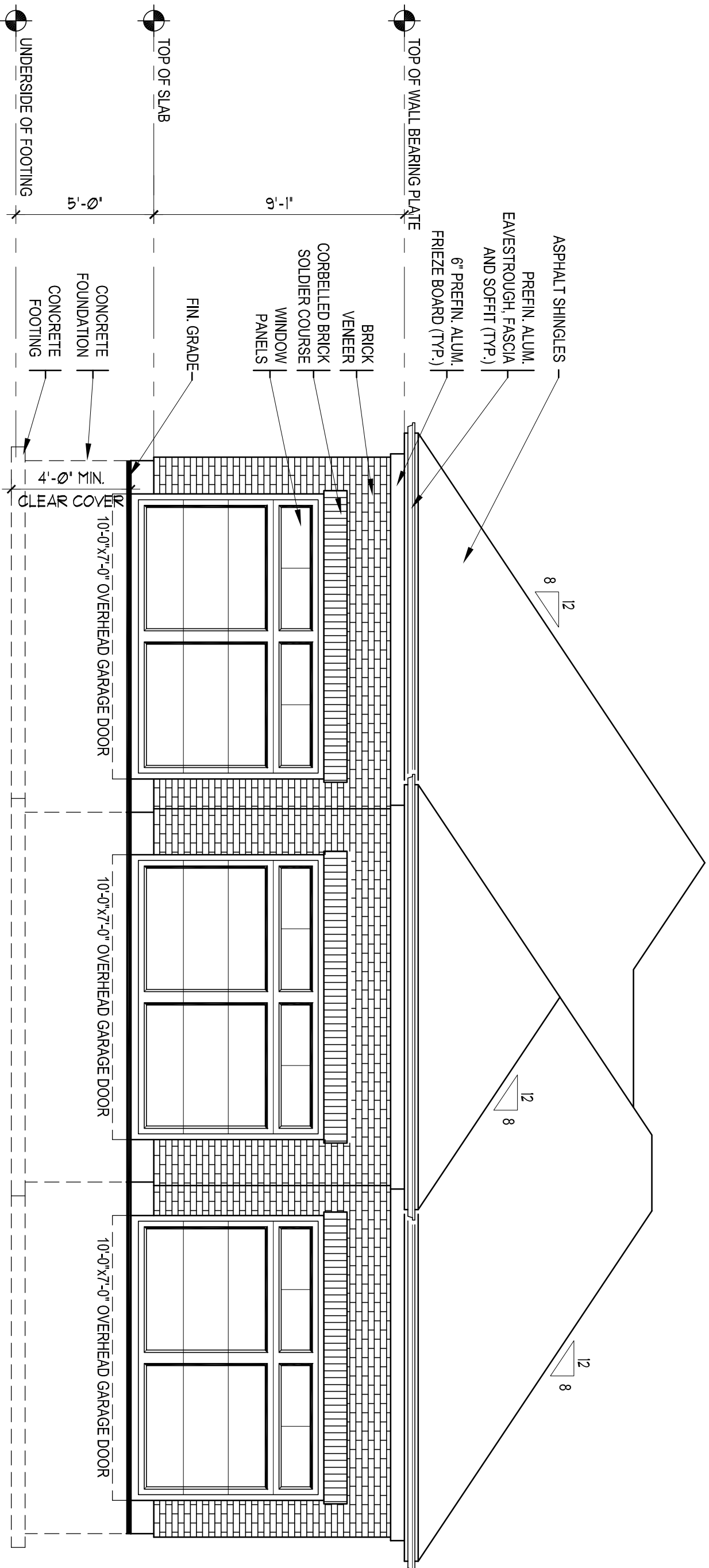


MEGHER'S DRAFTING AND DESIGN SERVICES  
KOMOKA, ONTARIO  
81 CAVENHILL CRESCENT  
N0L 1N0  
EMAIL: [grant.megher@megher.com](mailto:grant.megher@megher.com)  
PHONE: 519 872 5728

MAYO RESIDENCE

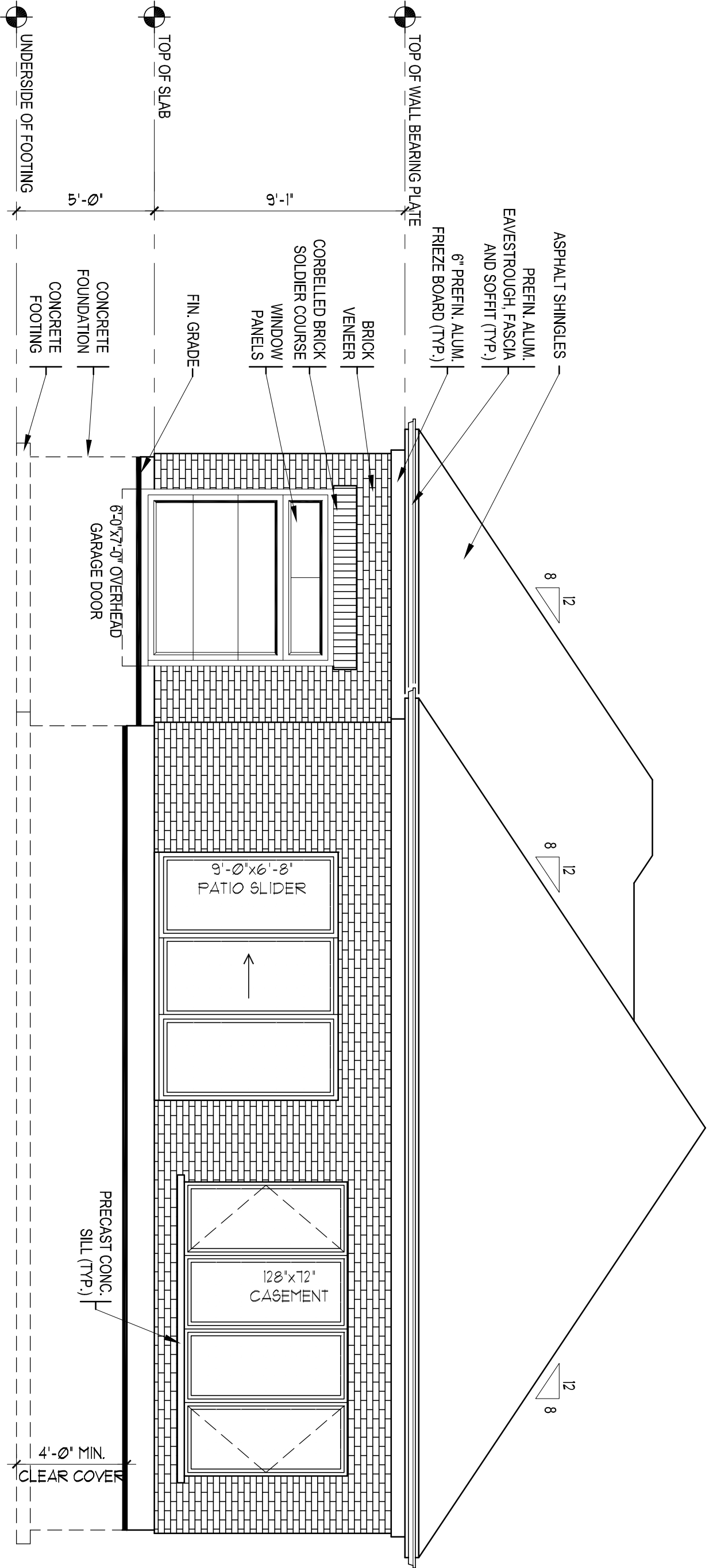
CARRIAGE ROAD  
KOMOKA, ONTARIO  
NEW 1 STOREY S.F.D.  
1837 SQ.FT.

FLOOR PLANS	
CONSTRUCTION PLANS	
DRAWN BY: G. MEGNIER	SCALE: SEE DWG
BCN: 36185	
DATE: MAY 17, 2021	B3
SHEET NO. 3 OF 3	



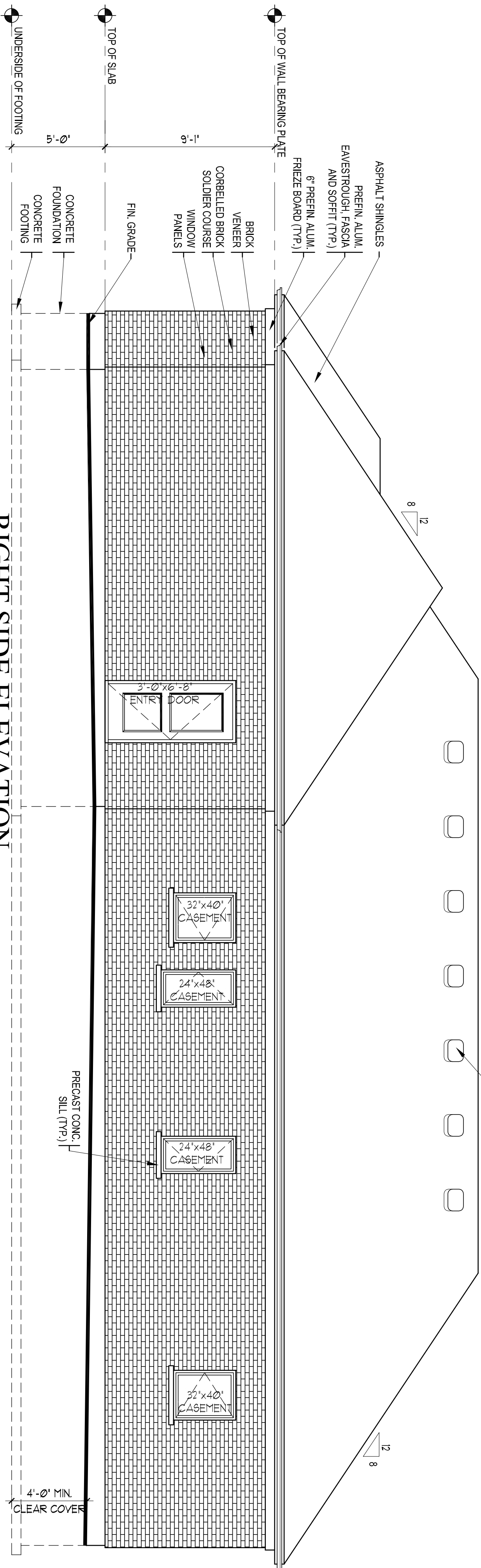
FRONT ELEVATION

Scale 1/4"=1'-0"



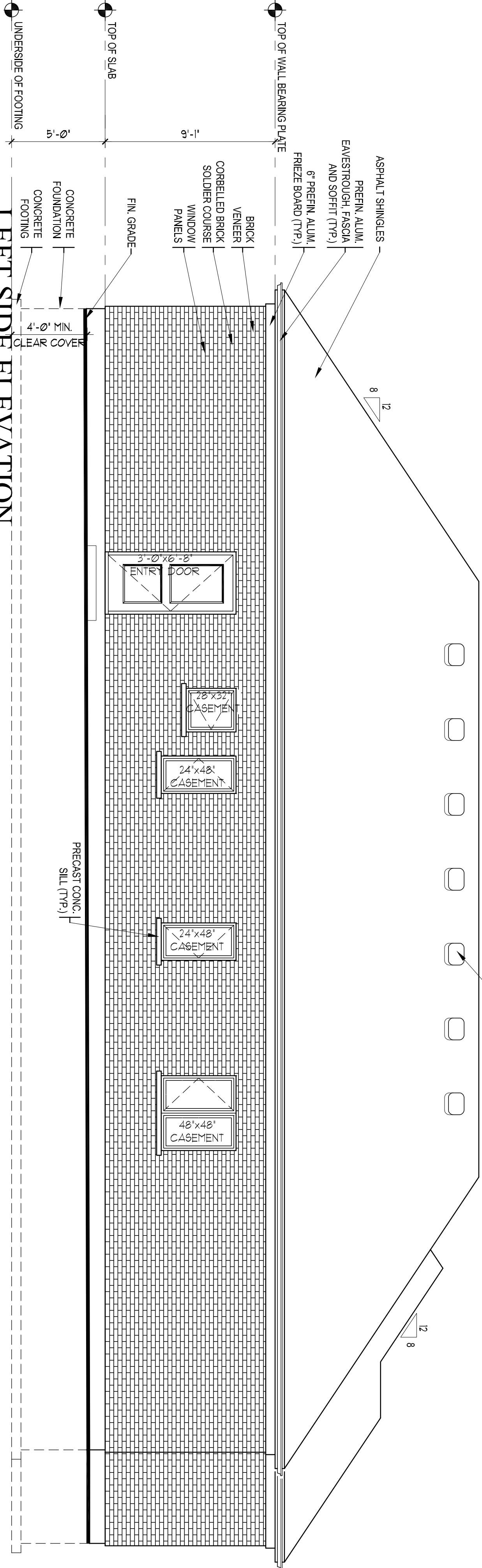
REAR ELEVATION

Scale 1/4"=1'-0"



RIGHT SIDE ELEVATION

Scale 1/4"=1'-0"



LEFT SIDE ELEVATION

Scale 1/4"=1'-0"





**Municipality of Middlesex Centre**  
**By-Law 2021-XXX**

**Being a By-Law to adopt Amendment No. 55 to the Official Plan of Middlesex Centre**

**WHEREAS** the Council of the Municipality of Middlesex Centre deems it advisable to amend the Middlesex Centre Official Plan;

**AND WHEREAS** this amendment is consistent with the Provincial Policy Statement, 2020 and is in conformity with the County of Middlesex Official Plan;

**THEREFORE** the Council of the Municipality of Middlesex Centre, in accordance with the provisions of Section 21 of the *Planning Act*, R.S.O. 1990, c. P. 13, hereby enacts as follows:

1. Amendment No. 55 to the Official Plan of the Municipality of Middlesex Centre consisting of the attached text and map schedule is hereby adopted.
2. The Clerk is hereby authorized to make application to the County of Middlesex for approval of the aforementioned Amendment No. 55 to the Official Plan of the Municipality of Middlesex Centre.
3. The By-Law shall come into force and take effect on the day of the final passing thereof.

**READ A FIRST, SECOND AND THIRD TIME, AND FINALLY PASSED** this 22<sup>nd</sup> day of September 2021.

Passed this 22<sup>nd</sup> day of September, 2021.

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Aina DeViet, Mayor

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James Hutson, Clerk



**AMENDMENT NO. 55**

**TO**

**THE OFFICIAL PLAN**

**OF THE**

**Municipality of Middlesex Centre**

**Location:** The subject property is a vacant parcel located on the east side of Carriage Road and on the north side of Sharon Drive. The subject property is legally described as Part of Lots 9 & 10, Concession 2 (geographic Township of Delaware), Municipality of Middlesex Centre.

**Date:** September 22, 2021

**Approval Authority:** County of Middlesex

AMENDMENT NO. 55

To the Official Plan of the Municipality of Middlesex Centre

The attached, constituting Amendment No. 55 to the Official Plan of the Municipality of Middlesex Centre, as authorized by the provisions of Section 22 of the Planning Act, R.S.O. 1990, c.P.13, was adopted by Council of the Municipality of Middlesex Centre by By-law 2021-\_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2021, in accordance with the Planning Act, R.S.O. 1990, c.P.13.

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Aina DeViet  
Mayor

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James Hutson  
Clerk

AMENDMENT NO. 55

To the Official Plan of the Municipality of Middlesex Centre

PART A - THE PREAMBLE - does not constitute part of this Amendment.

PART B - THE AMENDMENT - consisting of the text which constitutes Amendment No. 55

PART C - THE APPENDICES - do not constitute part of this Amendment.

## AMENDMENT NO. 55

### To the Official Plan of the Municipality of Middlesex Centre

#### PART A - THE PREAMBLE

##### 1.0 PURPOSE AND EFFECT

The purpose and effect of the Official Plan Amendment application is to re-designate the subject property from the Agricultural designation to an Agricultural Special Policy Area designation to allow a second dwelling unit in an ancillary building (garage).

##### 2.0 LOCATION

The subject property is a vacant parcel located on the east side of Carriage Road and on the north side of Sharon Drive. The subject property is legally described as Part of Lots 9 & 10, Concession 2 and Parts 1 to 9 on Reference Plan 33R17757 (geographic Township of Delaware), Municipality of Middlesex Centre.

##### 3.0 BASIS OF THE AMENDMENT

Section 16(3) of the Planning Act authorizes Official Plans to contain policies that permit additional residential units and provides the following:

“An official plan shall contain policies that authorize the use of additional residential units by authorizing,

- a) the use of two residential units in a detached house, semi-detached house, or rowhouse; and
- b) the use of a residential unit in a building or structure ancillary to a detached house, semi-detached house or rowhouse.”

Additionally, Section 35.1 requires that council of each local municipality to pass by-laws under section 34 (Zoning by-laws) to give effect to the policies described in subsection 16(3).

The Provincial Policy Statement, 2020 and the County Official Plan require that prime agricultural land are to be preserved for agricultural and agricultural-related uses including a farm residence. The proposal is in keeping with the provincial and regional policy framework for development outside of settlement areas. The proposal is not expected to have any adverse impacts on agricultural activities in the area while allowing for a second unit in an accessory building in addition to the prime residential use on the property.

The Provincial Policy Statement, 2020 also includes policy regarding ‘Housing’ and the requirement ‘to provide for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area’. Furthermore, Section 1.1.1 of the Provincial Policy Statement speaks to ‘Healthy, liveable and safe communities’ and how they can be sustained. Section 1.1.1b) states that ‘accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs’.

#### PART B - THE AMENDMENT

##### 4.0 DETAILS OF THE AMENDMENT

The document known as the Official Plan of the Municipality of Middlesex Centre is hereby amended:

- i. By amending Section 11.0 of the Official Plan by inserting the following new subsection:

“SPA 37”

The land identified as Special Policy Area #37, as shown on Schedule 'A' to this Official Plan, shall be subject to the following policy:

Notwithstanding any other section of the Official Plan, a second unit within an accessory building may be permitted in addition to the main residential dwelling."

- ii. By amending Schedule 'A' of the Official Plan the designation on the land described as Part of Lots 9 & 10, Concession 2 (Geographic Township of Delaware), Municipality of Middlesex Centre as shown and defined on Schedule 'A' to this amendment, from Agricultural to Special Policy Area #37.



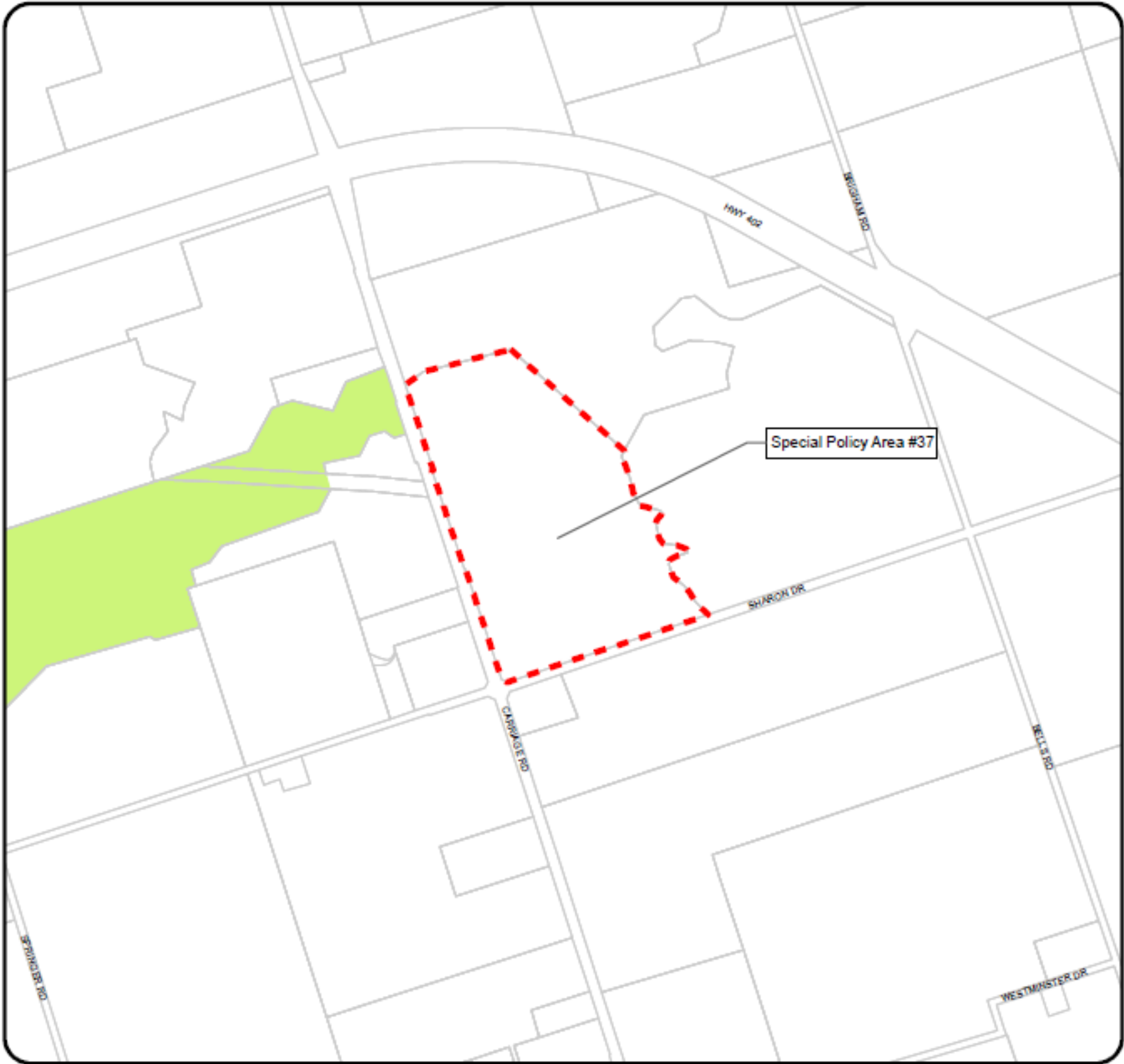
PART C - THE APPENDICES

SCHEDULE A: TO OFFICIAL PLAN AMENDMENT #55



SCHEDULE A: LAND USE PLAN

MUNICIPALITY OF MIDDLESEX CENTRE OFFICIAL PLAN



LEGEND

Special Policy Area

Official Plan Designation

Agriculture      Parks and Recreation

NOTE: Schedules should be read in conjunction with applicable policies of the Plan and other Schedules

